



Request for Proposals (RFP) Redevelopment Assessment for Industrial Site

INTRODUCTION

The City of Rock Island, Illinois is centrally located in the Quad Cities region, on the border of Illinois and Iowa, 197 miles west of the Chicagoland area. Located on the bend of the Mississippi River, Rock Island is positioned at the convergence of Interstates 74, 80, and 88. The City is geographically situated with access to multiple commercial and transportation networks, including the Quad City International Airport (MLI), BNSF, and IOWA Interstate rail services. During the 1800s and 1900s, the community was host to a large volume of manufacturing activity. In recent decades, however, globalizing forces and changing technology have significantly altered the local economic landscape. As a result, there are many industrial sites that need to be evaluated for redevelopment.

ASSESSMENT AREA

The assessment area includes both a subject property located at 1136 2nd Street and the public areas surrounding that property. The subject property was formerly the site of a facility that manufactured rubber boots and other workwear. Production ended many years ago and the buildings on the site are partially demolished. The area is within the Sunset Business Park. A map is attached for reference.

SCOPE OF SERVICES

The City is requesting proposals for a redevelopment assessment of the subject property and the adjacent public spaces. A traditional redevelopment plan is not being sought. Instead, the City is seeking to gain a better understanding of how it should evaluate future redevelopment proposals. It is also trying to understand what actions it can take to improve overall site readiness and the adjacent public spaces. The assessment shall specifically consider the following:

1. **Subject Property Conditions:** Assess the condition of the subject property and its suitability for different types of redevelopment. Identify what future uses are most suitable for the site. Recommend actions that should be completed as part of site redevelopment efforts.
2. **Infrastructure Conditions:** Assess the condition of adjacent infrastructure within the public right-of-way including the streets, public and private utilities, lighting, signage, access to state highway routes, and any other similar amenities. Recommend improvements and changes that should be completed as part of future redevelopment efforts.
3. **Marketing Strategies:** Recommend an approach for marketing the site for redevelopment. This should take into consideration the previously identified future uses that are most suitable for the site.
4. **Economic & Environmental Justice:** Recommend an approach for inclusion of economic and environmental justice considerations in the redevelopment of the site. Specifically, recommend how adjacent, low-income residential should be considered in overall decision making about redevelopment.
5. **Cost Estimates:** Each of the above requested recommendations should include estimates for the cost of different actions. These estimates should provide the City with a general understanding of costs and are not expected to be sufficiently detailed for the purposes of budgeting.

PROJECT TIMELINE

The timeline for bidding is as follows.

Request for Proposals Solicited	June 6, 2022
Request for Proposals Due	June 24, 2022 at 4:00 PM
Contract Awarded	July 11, 2022
Project Completion	September 25, 2022

BUDGET

The total not-to-exceed amount for this project is \$50,000. There shall not be any contingency allowed.

BIDDER QUALIFICATIONS & REQUIREMENTS

1. Bidders must be currently licensed as required by the State of Illinois.
2. Bidders must have or be able to obtain all applicable licenses and permits in addition to meeting all local, state, and federal requirements to perform requested work.
3. Bidders must have and provide proof of General Liability, Vehicle, and Workers Compensation Insurances and name the City of Rock Island as a Certificate Holder.
4. Bidders must have at least five years of experience in relevant work.

CONTENTS OF PROPOSAL

Responses will include the firm’s approach to addressing the scope of services and deliverables for the redevelopment plan. Proposals must contain a description of the firm’s experience, qualifications, and certifications with similar redevelopment plans. It should also identify the personnel who would work on the project and their respective levels of experience. Finally, a minimum of five references from the past five years must be provided.

SUBMISSION OF PROPOSAL

Submissions must be received no later than June 24, 2022 at 4:00 PM. Proposals may be delivered in person or sent via mail with a tracking service. All submissions must be in sealed envelopes that include the following information on the outside cover:

CED Department
 Attn: Tarah Sipes, Economic Development Manager
 1528 3rd Avenue
 Rock Island, IL 61201
 ENCLOSED: Response to RFP - Redevelopment Plan for Industrial Site

AWARDING CONTRACTS

Proposals shall be reviewed for experience, previous work history, references, State Licenses, State Registration, insurances, bonds, subcontractors, equipment owned, equipment rented, operator experience, and financial stability. The City at its sole discretion shall decide after a review which consultant, if any, is responsive to the RFP. All bidding and award procedures undertaken by the City regarding this project shall be consistent with the City’s adopted procurement procedures. Submitted prices shall remain valid for 60 days after bid opening.

BIDDER RESPONSIBILITY

Bidders shall keep the bidding process confidential. Each bidder shall be fully acquainted with conditions relating to the subject property, the scope of work, any current government regulations pertaining to

the work, and restrictions associated with acceptable execution of requested work. Failure or omission of the bidder to acquaint themselves with subject property conditions shall in no way relieve them of any obligation with respect to their bid or subsequent contract.

FEDERAL, STATE, AND LOCAL REPORTING COMPLIANCE

The consultant shall provide financial and programmatic information as required by the City of Rock Island to comply with all Federal, State, and local law reporting requirements. The consultant shall also adhere to all applicable Federal, State, and local regulations.

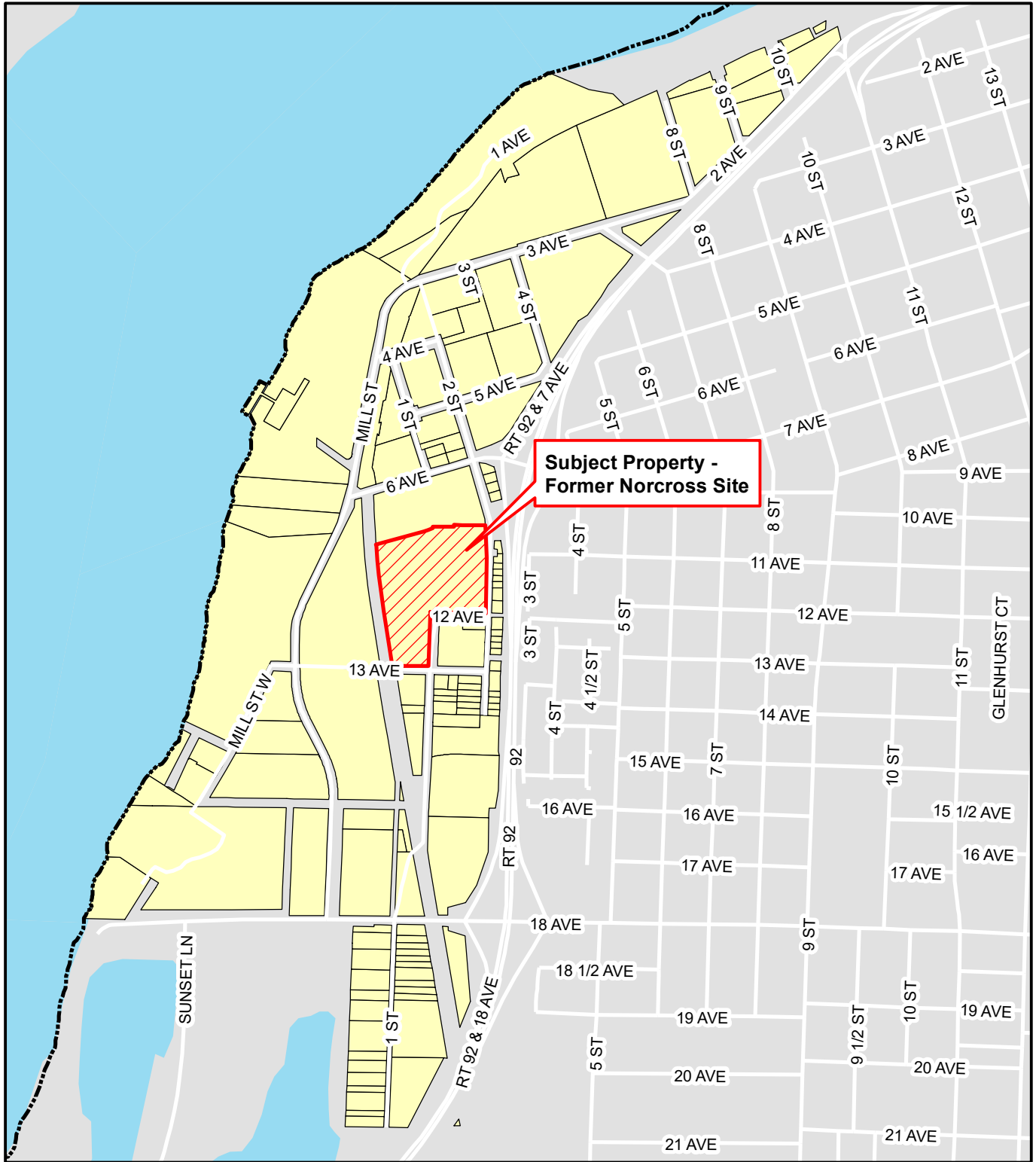
CONTACT INFORMATION

The primary contact person for this project is the City's Economic Development Manager:




Tarah Sipes
CED Department
1528 3rd Avenue
Rock Island, IL 61201
309-732-2923
Sipes.Tarah@rigov.org

Sunset Business Park

Prepared By: City of Rock Island,
Community and Economic Development Department



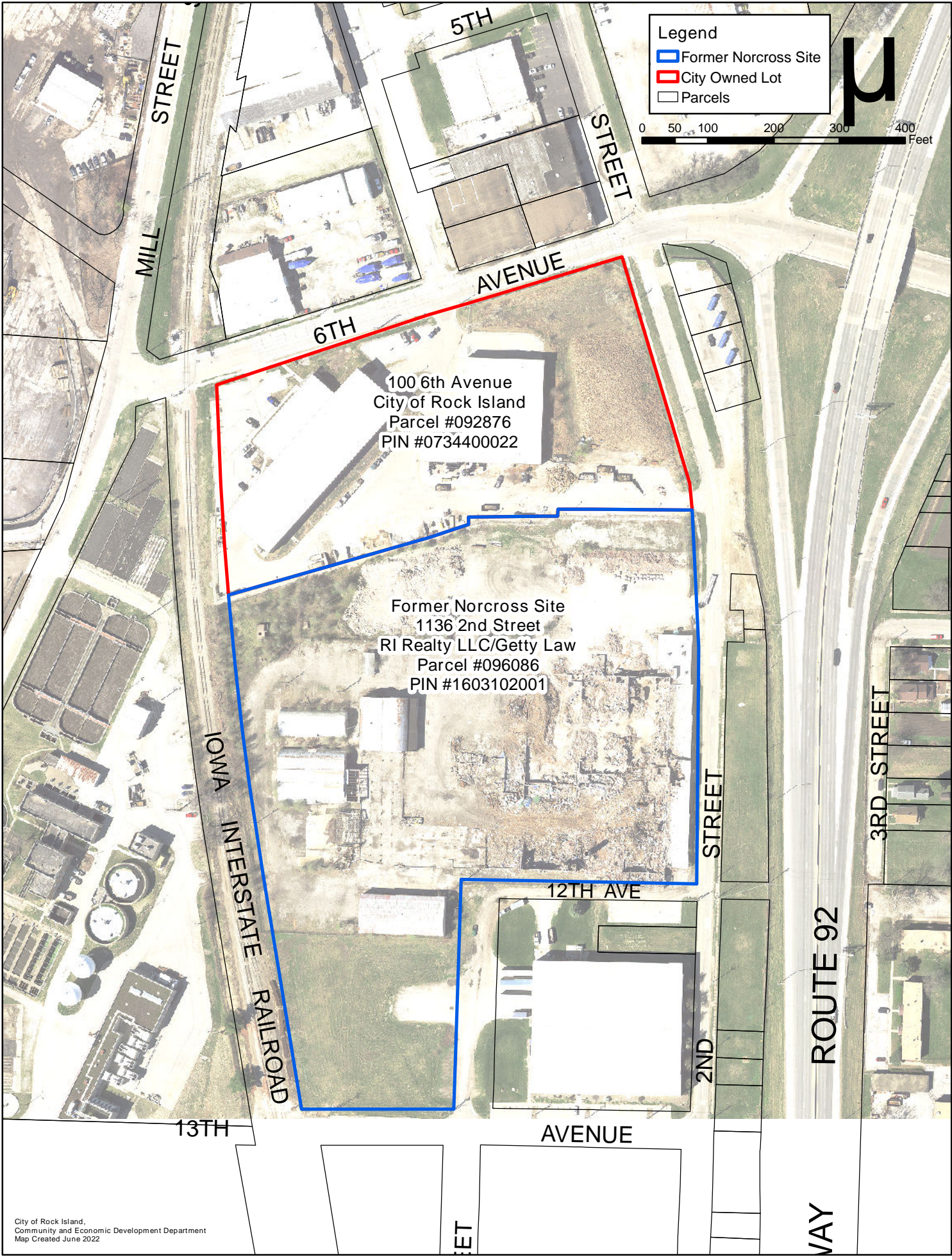
Legend




-  Former Norcross Site
-  Sunset Business Park
-  Municipal Boundary



0 200 400 800 1,200 Feet

Disclaimer: This map is not a substitute for an actual field survey or online investigation. The accuracy of the map is limited to the quality of the records from which it was assembled. The City of Rock Island makes no warranty concerning this information.



Legend
 Former Norcross Site
 City Owned Lot
 Parcels

0 50 100 200 300 400 Feet



100 6th Avenue
City of Rock Island
Parcel #092876
PIN #0734400022

Former Norcross Site
1136 2nd Street
RI Realty LLC/Getty Law
Parcel #096086
PIN #1603102001